



Existing windows and doors to be saved if possible and repaired where required. For those that not salvageable new will be installed

Existing modern floor finish to be removed and replaced with new to clients specification that is removable, if required at a later date.

All modern internal doors to be removed and replaced with new FD30S doors

Existing modern partitions removed and new installed to create different spaces. New partitions to be timber studwork with mineral wool insulation and plasterboard with plaster skim finish

Potential location of new boiler

Where the existing bathroom has been removed, existing recess, which may have been a door opening to be turned into new door opening into rear section of buildings. New steel beams may be required to support structure above. Floor in hallway to be removed and level lowered to front building floor level. New floor finish with insulation and screed

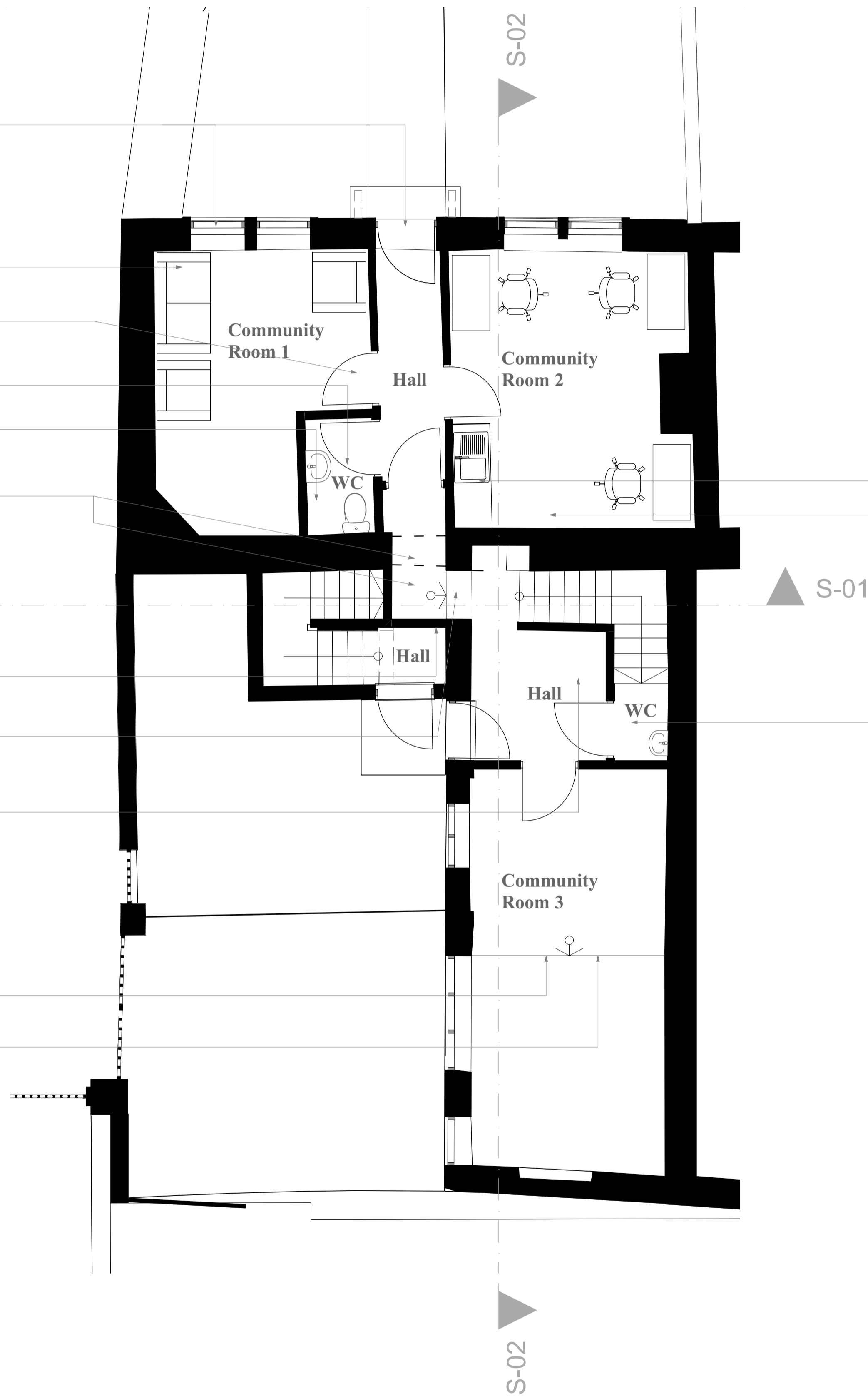
New studwalls around staircase to separate staircase from new corridor. New partitions to be timber studwork with mineral wool insulation and plasterboard with plaster skim finish

New studwalls around staircase to New opening formed in existing wall that may require steel beams to support existing structure above. New step to address different floor levels. Relocate existing meter box and pipes to staircase area

Existing modern studwork removed to open out staircase and create larger hall as well create a new space. New partitions to be timber studwork with mineral wool insulation and plasterboard with plaster skim finish

Existing chimney stack to be removed and floors made good with new timber

With chimney removed alteration to modern floor step so that it continues across entire room



0.

00-Ground Floor

1:50

1.

Existing windows and doors to be saved if possible and repaired where required. For those that not salvageable new will be installed

Existing sanitaryware removed and new installed in different positions

Removal of existing partition to bathroom and new installed in different position so not in front of existing window. New partitions to be timber studwork with mineral wool insulation and plasterboard with plaster skim finish

Removal of existing partition to bathroom and new installed in different position so not in front of existing window. New partitions to be timber studwork with mineral wool insulation and plasterboard with plaster skim finish

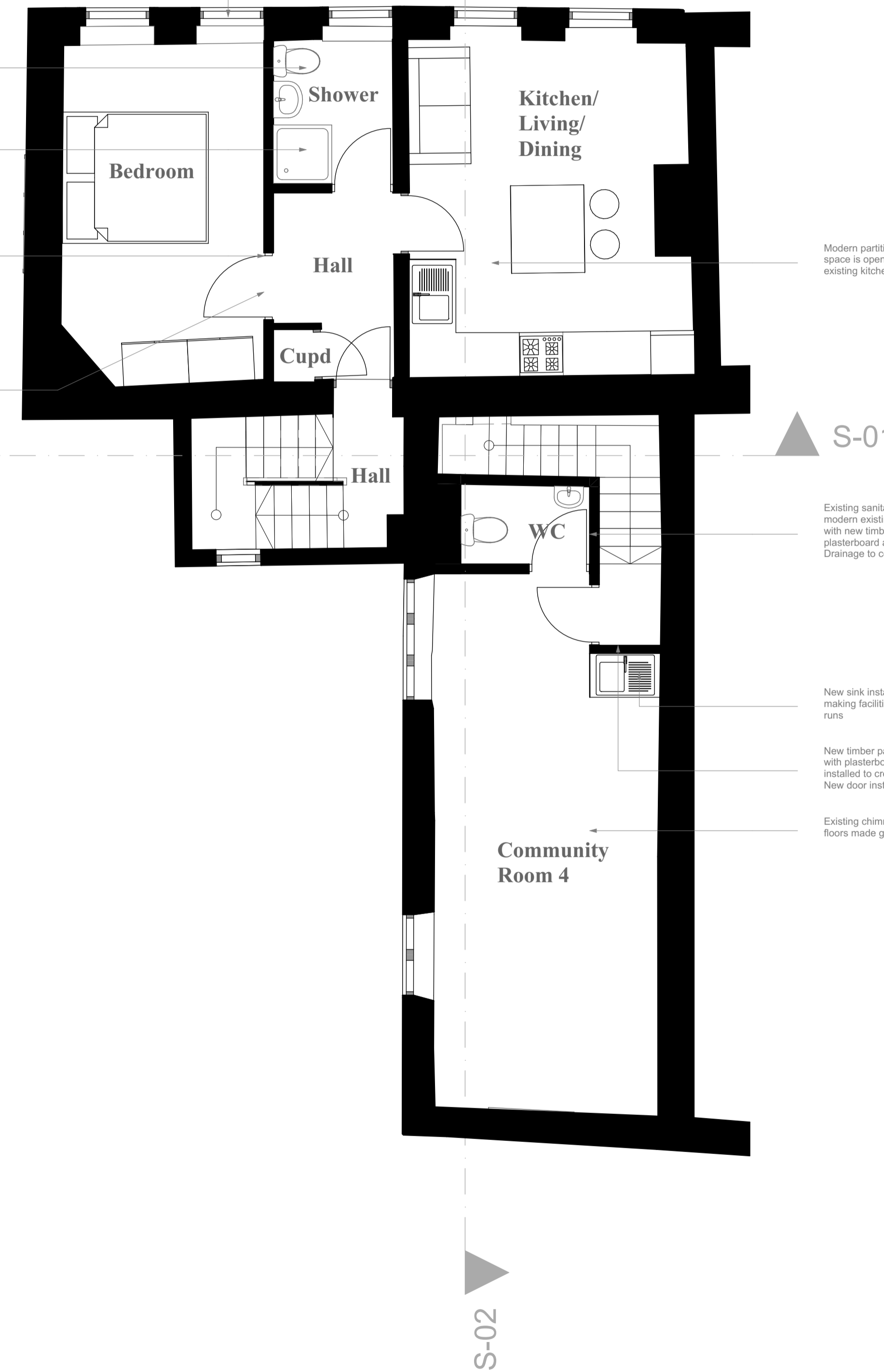
New sink installed in room to allow for tea making facilities. Using existing drainage runs

Removal of existing kitchen units

All modern internal doors to be removed and replaced with new FD30S doors

S-01

New WC installed under staircase with new timber partitions fill in with insulation, plasterboard and plaster skim finish. New drainage to connect into SVP from first floor. New drainage route cut into existing ground floor slab and then filled over.



01-First Floor

1:50

Modern partition removed so that original space is opened up again. Alteration to existing kitchen layout.

Existing sanitaryware removed as well as modern existing studwall. New WC created with new timber partitions with insulation, plasterboard and plaster skim finish. Drainage to connect into existing system

New sink installed in room to allow for tea making facilities. Using existing drainage runs

New timber partition with insulation infill with plasterboard and plaster skim finish installed to create new access into room. New door installed in new location

Existing chimney stack to be removed and floors made good with new timber

Note:
All information shown on this drawing is to be used for planning or building regulation purposes only and not to be used in conjunction with any other documents or drawings including contract, working drawings, construction and as built papers.
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The Party Wall Act may apply if any of the following categories of building work apply:
1. Work on an existing wall or structure shared with another property.
2. Building a new retaining wall or a wall of a building up to, over or outside the boundary with an adjoining property.
3. Excavating near an adjoining building.
It is the responsibility of the client/owner to determine whether the act applies and if so notify all adjoining owners in accordance with the act. Further information can be found on the contractors and local government websites.

A - 30.01.2024
Alterations as per clients email dated 29.01.2024
B - 30.01.2024
Alteration to sink location in community room 4.
C - 07.02.2024
Alteration to WC layout

PROJECT
2340 - 11 Cannon Square
St Michael & All Angels Church

Melksham
Wiltshire, SN12 6LX

Proposed Alterations

DRAWING
Proposed Ground and First
Floor Plan - Option 1
1:50, 1:100@A1

Drng No:2340.02.01 Rev C Rev:
07/02/2024

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